

Building Surveyors Office  
Application No. 5826  
Received.....

*Temple Court*



11201/P0001

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5826

ZONE: LEVEL\_2

RETURN SEQ: 038003000

V - AK - 098 - 03 - 02

17th September, 1923.

Mr. P. F. Fairway,  
Superintending Engineer,  
Reinforced Concrete & Monier Pipe Constn. Co.  
360 Collins Street,  
MELBOURNE.

Dear Sir,

With reference to your letter of the 14th inst. regarding certain loading in respect to partitions at Temple Court, I would suggest that you call and see Mr. Reed of this Department regarding the matter.

Yours faithfully,

*H. J. Lefort*

Building Surveyor.



GD/VL

15/9/23

Marlon.

Appel<sup>n</sup> has not yet  
been made & no plans  
submitted for Temple Court.

ASQ.

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Write & request for  
Fourway House, in Reich  
re this matter

J. K. W.

# THE REINFORCED CONCRETE & MONIER PIPE CONSTRUCTION Co. Propy. Ltd.

REGISTERED OFFICE: COLLINS HOUSE, 360-366 COLLINS STREET

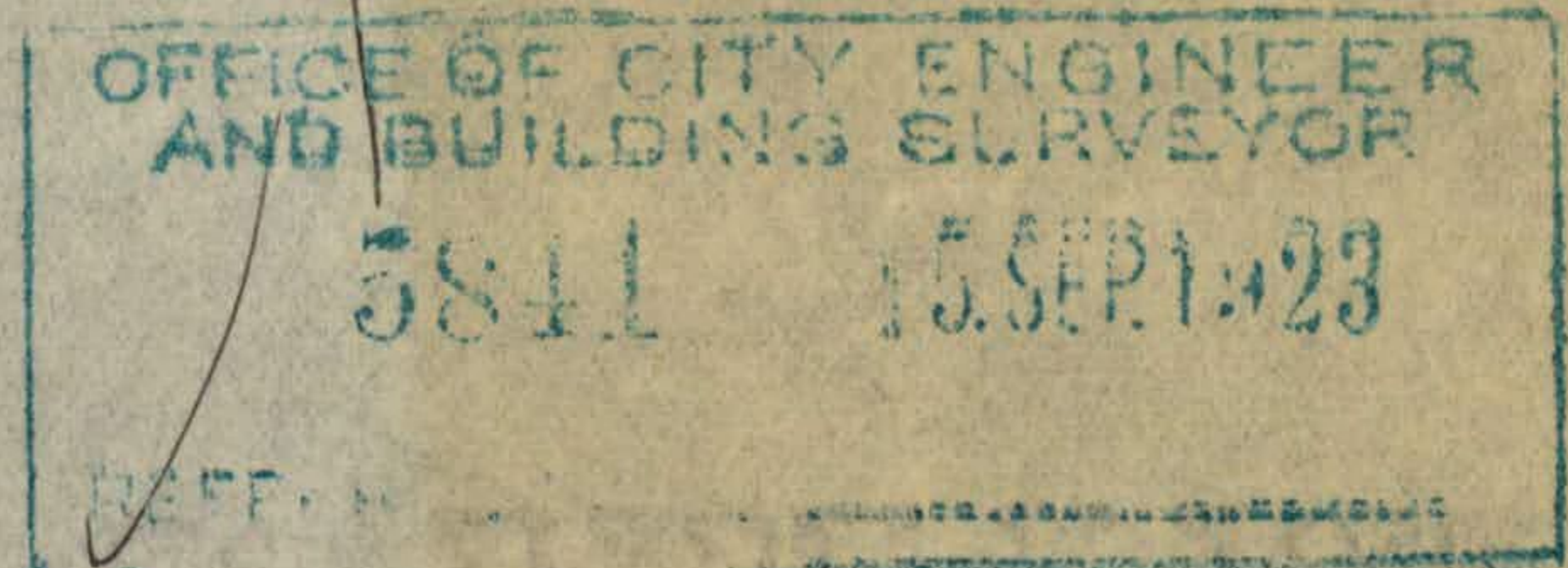
FACTORY: BURNLEY STREET, RICHMOND

J. GIBSON, MANAGING DIRECTOR  
P. T. FAIRWAY, C.E., SUPERINTENDING ENGINEER  
TELEPHONE 1212

Melbourne, 14th. September, 1923

/F(T)

The City Architect,  
Town Hall,  
MELBOURNE.



Dear Sir,

re Temple Court

We have discussed with your staff the added loading to be designed for, in respect of partitions over and above the regulation Office loading. In the present case it is proposed to build the whole of the partitions of 3" Terra cotta 6'6" high, the balance of space up to ceiling being filled in with glass. The height of the storey, floor slab to floor slab, is 10'4". We have worked out weights of material, etc. and enclose herewith particulars of these with the request that you permit us to take the increase of load necessary to provide for the partitions only at 10 lb. per sq. ft.

We shall be pleased to have your decision regarding this matter at your early convenience.

Thanking you in anticipation,

Yours faithfully,  
THE REINFORCED CONCRETE & MONIER PIPE  
CONSTRUCTION CO. PROPY. LD.

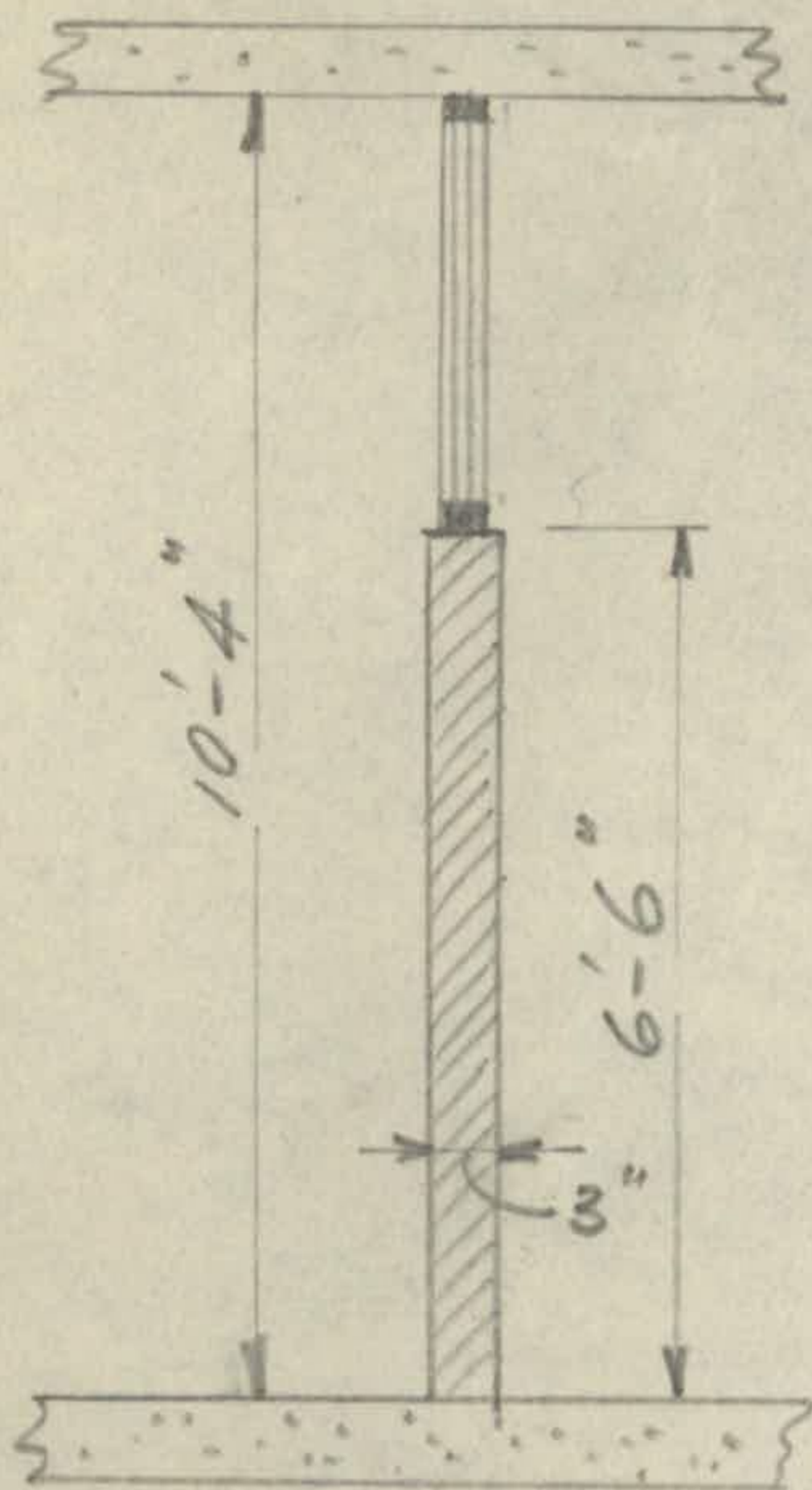
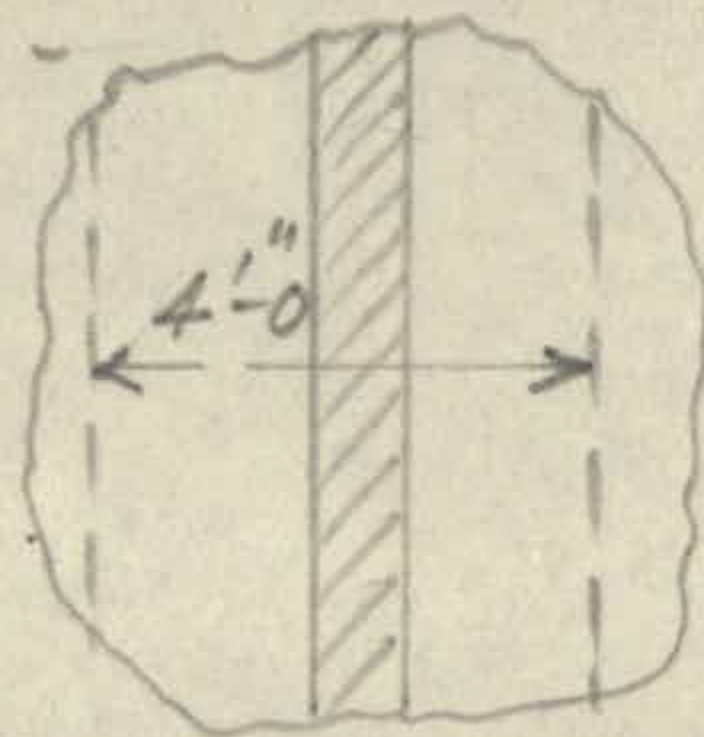
*P. T. Fairway*  
Superintending Engineer.

*In Reply  
Have you please of  
propd partitions me  
light 11/22/23*

14th. Sept, 1923

TEMPLE COURT

PARTITIONS



Weight of 3" terra cotta-Walls = 20lbs./sq.yd

" " Glass, etc. above say 10 " "

Take 12" length of wall:-

$$\frac{6.5 \times 1 \times 20}{9} = 15 \text{ lbs.}$$

$$\frac{3.5 \times 1 \times 10}{9} = \frac{4}{19} \text{ lbs per ft. run of wall}$$

Take width of slab at 4'0"

$$\frac{19}{4} = \text{say } 5 \text{ lbs./ sq. ft. on slab.}$$

Allow for possibility of partition in other direction

Making total of 10 lbs./ sq. ft.

Note:- The floor system throughout consists of bays about 16'0" square, the plates being reinforced in both directions.

THE REINFORCED CONCRETE & MONIER PIPE  
CONSTRUCTION CO. PROPY. LD.

*R. S. Saurin*

CITY OF MELBOURNE.

BUILDING SURVEYOR'S OFFICE.

Application No. 5826

Date 5th Dec. 1923

Work Section of New premises.

422/424

Purpose for which Building is to be used Offices etc.

Amount of Contract, £ 265,000

Locality Temple Court, Collins St. Melbourne.

Owner T. J. Voske.

Address 9 Queen St.

Architect or Engineer Trauger, Little, Garlow & Hawkins.

Address 360 Collins St Melbourne.

Builder Bolton & Diken Pty Ltd

Address 21 Alexandra St. St Kilda. W. M. Collier, Director

Applicant's Signature Trauger Little, Garlow & Hawkins

(For Office Use only)

Ward

Number of Plans 48 plans & Spec. Sent for checking 5th Dec 23.

Building Fee, £ 143-12-6 paid 7.1.24 Computation Fee, £ 106-0-0 paid 7.1.24.

Alignment Fee, £ 1-1-0 paid 7.1.24

Plans returned ( ) on

Signature

The work to which this application refers has been carried out & finished in accordance with the plan & specification in connection therewith lodged at this office and approved.

J. Harris, Inspector

Plans re-submitted on

Date finished 12/4/26

1. TEMPLE COURT.

5826

SPECIFICATION of Work to be done and materials to be used in the Erection of TEMPLE COURT, Collins Street, Melbourne for T. J. Noske Esq., in accordance with the Drawings, this Specification and the General Conditions of Contract, and under the supervision of and to the entire satisfaction of the Architects:-

GRAINGER, LITTLE, BARLOW & HAWKINS, A.R.V.I.A. Architects & Civil Engineers, A.R.I.B.A. Collins House, 360 Collins Street, (Lond). MELBOURNE, Tel. Cent. 3029.

TENDERS.

Tenders are to be sent to the Office of Grainger Little, Barlow & Hawkins, Architects and Engineers, 360 Collins House, 360 Collins Street, not later than noon of the 17th. day of Dec. 1923

DEPOSIT.

Each tender is to be accompanied by a deposit of £2,000.

Should the Tenderer refuse to proceed with the work after due notice in writing has been posted to him that his Tender is accepted, the deposit shall be absolutely forfeited, and the work may be let to another Tenderer. The lowest or any tender will not necessarily be accepted.

TIME OF COMPLETION.

The Contractor shall state the time in which he will undertake to complete the complete Building. The Ground floor and Basement are to be completed in \_\_\_\_\_ time.

The First Floor	will be completed in	_____	time.
The Second	" " " "	" "	" "
The Third	" " " "	" "	" "
The Fourth	" " " "	" "	" "
The Fifth	" " " "	" "	" "
The Sixth	" " " "	" "	" "

2. TEMPLE COURT.

The Seventh Floor will be completed in	time.
The Eighth " " " " "	"
The Ninth " " " " "	"
The Tenth " " " " "	"
The Eleventh " " " " "	"
The Lifts in Collins Street in	"
The Lifts in Little Collins Street in	"

HOARDINGS.

The Contractor is to provide for supplying and erecting all temporary screens, hoardings, etc. to the approval of the Architects, to cut off & protect the portions of building in occupation from work proceeding. These are to be weather and dust proof.

The Contractor shall provide for supplying and erecting necessary temporary roofing, and shall make same watertight to protect portions of the building occupied.

ARCHITECT'S SIGN.

The Contractor is required to frame up in dressed Oregon, a Notice Board 50' x 14', to have same painted with three coats oil paint, white. On same signwrite in the best black type "GRAINGER, LITTLE, BARLOW & HAWKINS, A.R.V.I.A., M.T.I.A. A.R.I.B.A. (Lond), Architects, Collins House, 360 Collins Street, Melbourne."

CONDITIONS.

The general conditions of Contract will be those printed and issued by the Royal Victorian Institute of Architects, and will form part of the Contract.

PRICED SCHEDULE.

The successful Tenderer will be required to lodge with the Architects, within seven days of the signing of the Contract, a copy of his priced Schedule of Mr. A. Gooding's Quantities, and



### 3. TEMPLE COURT.

all additions or deductions to or from the Contract Drawings, to be added to or deducted from Contract amount after being measured up and valued at the several rates shown in priced schedule.

#### SITE.

The site is cleared to the Ground level and portion to the excavated level, and is open for inspection by Tenderers.

Allow for taking down all old paving, excavating any floors, foundations, walls and foundations.

#### INSURANCE.

Contractor shall insure the work against fire in a Company selected by the Proprietor, for a sum equal to 75% of the Contract amount, in the joint names of the Contractor and Proprietor.

When the work is completed the policy is to be transferred to the Proprietor, without charge.

#### NOTICES.

Give all notices, pay all fees, and generally conform with all requirements of Municipal and other Officers.

#### MAINTENANCE.

The Contractor is to maintain the works for six months from the date of final certificate, and the sum of 1½% on the Contract amount will be retained for such maintenance.

#### PROVISIONAL & P.C. SUMS.

All provisional sums, which are quoted in this specification as P.C., include the usual 10% trade discount to Contractor, and the Contractor must add any profit, etc. he requires to all such items.

All provisions and provisional amounts are to be used as directed by the Architects, and deducted wholly or in part, if not required, less 10%, and the Contractor must arrange with the sub-contractors accordingly. The Architects reserve to themselves, the right to

4. TEMPLE COURT.

amend all provisional sums, adding to or deducting difference to or from the Contract, as the case may be, and to employ sub-contractors to supply or carry out work for which such provisional sums are specified.

The Contractor will be required to fix all p.c. sums stated later.

FACILITIES TO OTHER TRADES.

All necessary facilities, together with the reasonable use of plant, staging, scaffolding in position, ladders, water etc. shall be provided by the Contractor for all special tradesmen who may be appointed by the Architects to carry out any work, whether or no same shall be specially provided for by the Specification.

The Contractor shall ascertain from each tradesman appointed, what chases, etc., are requisite for his individual work, and shall arrange for and build them as the work proceeds.

He shall be entirely responsible for any damage to goods provided by the Employer or any special tradesman or sub-contractor after they have been delivered to the site.

SETTING OUT.

The Contractor shall set out the whole of the works, and shall be responsible for same.

He shall amend any errors that may arise from any inaccurate setting out, free of cost to the Proprietor unless the Architects shall decide to the contrary.

All figured dimensions on the Drawings are to be followed in preference to scaled dimensions. Should there be any difference in same, Contractor is to refer to Architects before proceeding. The Proprietors Surveyor will mark starting points free of cost where desired.

5. TEMPLE COURT.

WATER.

All temporary plumbing work, pipes, fittings, etc. and water that may be required shall be provided by the Contractor, who shall also give the necessary notice to the Melbourne and Metropolitan Board of Works and pay all fees legally demandable in connection with the supply of water for the use of works.

TEMPORARY PROTECTION.

All walls, trenches, during excavation, and such other parts of the building as may be necessary, shall, during inclement weather, be protected so as to keep the building, as far as possible, immune from damage.

All work damaged by the weather, etc. must be re-executed to the Architects satisfaction.

DAMAGE TO ADJOINING PROPERTY.

The Contractor shall be responsible for all structural and decorative damage to property and for injury caused by works or workmen to person, animals, or things, and shall hold the Proprietor harmless in respect thereof.

WORKMEN'S COMPENSATION ACT.

The Contractor shall be entirely responsible for any, or all claims, that may be made under any Workmen's Compensation Act, or other Act of Parliament that now may be in force, or that may come into force during the period of the continuation of the Contract, and shall hold Proprietor entirely free from all responsibility in respect thereof.

CONTINGENCIES. The Contractor shall provide the sum of One Thousand, five hundred pounds (£1500) for contingencies. This sum to be expended only as the Architects may direct, and will be deducted, if not required, in whole or part, from the amount due to the Contractor on completion of the work.

6. TEMPLE COURT.

RUBBISH.

All rubbish, as it accumulates and all superfluous materials shall be cleared out and removed from the premises.

CLEANING UP.

The Contractor shall clean up each floor as ready for occupation or Contract time for such floor expires, and shall leave the whole perfectly clean in every respect.

DRAWINGS TO BE RETURNED.

All copies of drawings and specifications issued to the Contractor are to be returned to the Architects on completion of the Contract.

OFFICE.

Provide an office for the use of the Clerk of Works during the progress of the work, complete with fittings etc.

CUT AWAY PROJECTIONS.

Cut away projections of any cornice and strings of adjoining premises and punch ends and make good, also cut away projecting bluestone quoin. Punch off any excrescences of bluestone wall of adjoining premises.

TELEPHONE.

The Contractor is to have connected to the Clerk of Works Office and is to pay for connection, rent and calls during the currency of Contract. The name of Grainger, Little, Barlow & Hawkins, Temple Court Works is to be inserted in Telephone Directory, together with his own name.

DEPOSIT OF  
SUCCESSFUL  
TENDERER.

7. TEMPLE COURT.

On the signature to the Contract, the deposits of the unsuccessful tenderers will be returned.

The deposit of the successful tenderer will be retained until the issue of the first progress certificate, at which date it will be returned. No charge will be made to the Contractor for general drawings or detail drawings.

EXCAVATOR AND CONCRETOR.

8. TEMPLE COURT.

EXCAVATOR AND CONCRETOR.

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REMOVE WALLS  
ETC.

The Contractor is to remove foundations and footings, also old paving, and grub up all existing pipes and generally clear site for building operations.

EXCAVATION.

Excavate to the full dimensions and depths shown and figured on the drawings or the detail drawings.

SHORING UP  
ADJOINING  
PROPERTIES.

Should it be deemed necessary by the Architects or required by the Melbourne City Council, the adjoining properties are to be shored in a manner approved by the Architects whilst underpinning operations are proceeding.

TRENCHES.

The trenches and foundations for walls, piers, columns etc. shall be excavated to the full widths and depths shown and figured on Drawings, or to such depths and widths as may vary from those shown on Drawings, the difference in excavation concrete or brickwork to be measured and valued, and added or deducted as the case may be.

Excavations are to be truly levelled, sides plumb, and bottoms well rammed to receive concrete.

All trenches must be left open for inspection and approved of by the Architects before concreting is commenced.

Surplus earth from excavation is to be carried away. Fill in and ram round all trenches, foundations etc. not otherwise described with solid dry filling.

MAINTENANCE  
OF EXCAVATION.

Excavate the sides of all trenches, and other excavations must be thoroughly strutted and otherwise secured, and all pumping necessary to keep the excavations free from standing water must be performed.

9. TEMPLE COURT.

The Contractor must provide for shoring up Little Collins Street, Temple Court Place, Mitre Place, right-of-way at rear of Scotts.

Excavations against lanes and adjoining buildings to be carried out at an angle of not greater than 45° and those portions cut out in short lengths only necessary for building up foundation walls and retaining walls.

REINSTATEMENT  
OF LANES.

Temple Court Place, the Right-of-way leading from Bank Place to have the stone sets carefully removed before excavating. To be stacked in a convenient spot and the whole of the Right-of-ways on the completion of the work to be reinstated in a properly workmanlike manner, to the satisfaction of the City Council. Make good any damage to Scotts private lane.

REINSTATEMENT  
OF FOOTWAYS.

Make good any damage done to footways of Collins Street, and Little Collins Street, relay pitchers replacing any damaged, all to approval of Melbourne City Council.

CEMENT.

All cement shall be Australian Portland cement. It must be of such quality as to be in conformity with the British Engineering Standard Committee's specification. See Note Page 11.

SAND.

To be clean and sharp, and consisting of grains from fine to coarse and not exceeding  $\frac{1}{4}$ " in diameter.

CONCRETE.

Concrete is to be mixed in the following proportions:

3 parts  $\frac{3}{4}$ " screenings.

2 parts sand.

1 of cement.



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LAYING CON-  
CRETE.

Concrete foundations under walls shall be of the full widths and depths shown, and as hereafter specified, and detailed. They must be thoroughly consolidated and worked to an even and truly level surface with the spade and well rammed. No walls or paving are to be laid on the concrete until same is thoroughly set.

GROUND FLOOR &  
BASEMENT FLOOR.

Ground Floor and Basement floor shall be of concrete as specified in reinforced concrete, laid on 5" broken 2" gauge metal bed, blinded on surface, 3" of  $\frac{3}{4}$ " screenings, hessian to cover the whole surface and graded to pits as directed.

Provide 4" & 6" agricultural drains as shown on plans graded to pits and discharging into same with flap valves. Pits to be formed of 6" concrete walls and bottom internal dimensions 3' x 3' x 3' deep rendered internally with cement and fitted with wrot iron grating cover to detail.

E.W.P. DRAINS.

Provide 6" E.W.P. drains where shown in Basement jointed with cement mortar and connected to pits, and encased in concrete 6" minimum cover on pipes. Provide inspection openings and branches 20' apart with circular brass covers and frame set into Basement floor as directed.

OLD DRAINS.

Should any drains be cut during the progress of the work, coming from unknown sources, new drains shall be laid, any earthen ware pipe drains covered with 6" cement concrete and shall be taken to pits mentioned before.

No drain must be cut and sealed unless the source can be ascertained and proved that the drain is dead.

11. TEMPLE COURT.

BLASTING.

The Contractor shall allow for any blasting work that may ~~be~~ have to be done and shall obtain permission and take all risks.

NOTE.

CEMENT.

All cement used throughout is to be Australian Portland Cement ( Geelong) The price delivered upon the site will be 19/-.

This price will be subject to a discount of  $2\frac{1}{2}\%$  for cash payments within 30 days. The supply and delivery will be guaranteed by the proprietor through whom all cement must be obtained.

BRICKLAYER.

12. TEMPLE COURT.

B R I C K L A Y E R.

BRICKS.

All bricks must be first class, good, sound, hard, square, well burnt, machine made, from approved kilns and equal in all respects to a sample deposited with and approved of by the Architects.

INTERNAL WALL  
OF BASEMENT &  
GROUND FLOORS,  
& SWITCH ROOMS.

Internal wall to be 4½" thick leaving a 2" cavity to concrete retaining wall. This must be built in cement and must be tied to the retaining wall with approved bonding ties at 24" centres every four courses high.

At bottom of cavity, ~~omit concrete floor &~~ <sup>to</sup> drain/  
agricultural pipe. The cavity is to be kept clean during building operations, and whilst bricks are being laid, a wooden slip must be laid in the cavity and lifted at every fourth course.

SAND.

All sand used for mortar must be clean, sharp, pit sand, free from salt and all loamy and organic matter, and must be washed and screened if so ordered by the Architects.

All sand must be Frankston.

Sea Sand must not be used.

CEMENT MORTAR.

Cement mortar will be composed of two parts of cement to five parts of sand and only mixed up in sufficient quantity to serve requirements. The cement and sand must be thoroughly mixed dry, and water afterwards added.

WATER.

Water must be clean and fresh.

CEMENT.

The cement is to be Australian Portland cement.

DIMENSIONS.

All brickwork must be carefully and accurately

13. TEMPLE COURT.

set out to the exact dimensions shown and figured on the drawings.

BRICKWORK.

No portions of walls to exceed 3' above the adjoining parts whilst being built, and to be raked back and not toothed up.

All bricks well soaked previous to being used.

No four courses to rise more than  $1\frac{1}{4}$ " in addition to the thickness of the bricks laid without mortar. Rake out joints for rendering internally.

UNDERPINNING.

It will be necessary to underpin the following buildings:-

Stalbridge Chambers, Royal Insurance, and brick factory of Mason, Firth & McCutcheon. The Contractor must allow for this in his tender.

Scott's Court is to be removed. The Contractor must also quote to underpin the brick factory of Hardstone, Partridge. This price must be kept separate from the tender price.

Stalbridge Chambers contains a Basement, the floor level of which is marked on the Drawings.

Mason, Firth & McCutcheon does not contain a Basement and the Ground Floor level is marked on the Drawings.

The Royal Insurance contains a Basement, but it is understood that their western wall does not go down to the Basement level.

Underpin the foundations of adjoining premises with bricks set in cement in short lengths as shown in detail drawings, and include all necessary approved wedges and shoring and risk.

Trial pits have been dug to ascertain adjoining footings as accurately as possible.

BOILER FLUE

The boiler flue for a distance of 25'0" above the ground floor level is to be lined with fire brick to the minimum thickness of  $1\frac{1}{2}$ ".

FILLING IN.

The Contractor shall return and well ram round all foundations with good, hard materials reserved from the excavations.

DAMP PROOF COURSE.

Lay a damp proof course to the full widths of Brick walls of Anderson's Bitumen Damp Proof Course. (Messrs. Wm. Crosby & Co., Agents).

WATERPROOF OF CEMENT TO BASEMENT.

Retaining wall in Ground Floor and Basement is to be waterproofed with "Pudlo".

Concrete to be mixed in the usual way and then add three (3) lbs. of Pudlo for every 100 lbs. of cement used. Pudlo mixed in with cement.

CHASES & BED PLATES.

The Contractor shall form all necessary chases for pipes and other work. He shall perform all rough and fair cutting.

TRENCHES FOR MAINS.

Provide in Ground Floor at either end, concrete trench 12" x 12" with 6" concrete walls and floor. Form rebatted piece at top with pre-cast cover. After mains are laid in position, rule V. in concrete floor along trench, and reinforcement wires must not be carried over. Also allow for trench between two switch rooms where shewn.

TRENCHES FOR WATER & GAS.

Provide in Ground floor at either end, a concrete trench 12" x 12" with 6" concrete walls and floor. Finish top as trenches for mains.

PAPER ON WALLS OF ADJOINING BUILDINGS TO PREVENT ADHESION OF CONCRETE.

The walls of the adjoining buildings are to be covered with building paper to prevent adhesion of the concrete to same.

CHIMNEYS.

Over gas fires and gas copper carry up concrete flue with concrete cap over.

Put concrete cap over main flue and carry flue 8' above roof line.

TRENCH FOR VENTILATION.

Construct concrete trench of size shown on plan and to detail later of 6" concrete walls and floor. Top of cast slabs and joint caulked. Diminish at intervals as shown. All for bends. Render internally as after.

STRUCTURAL STEEL.



16. TEMPLE COURT.

STRUCTURAL STEEL.

The whole of the structural steel work, consisting of roll steel joists, girders, stanchions, cast iron bases, connections for all trusses and all steel angles, girders, straps etc., necessary for fixing Faience, will be supplied and delivered by the Proprietor, but the Contractor will be allowed a commission of 10% on the cost of same.

The Contractor must allow for erecting same.

? *Regarding same -* ?

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